



City of Vancouver *Land Use and Development Policies and Guidelines*

Planning, Urban Design and Sustainability Department

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MAIN STREET C-3A GUIDELINES

Adopted by City Council on October 25, 1988

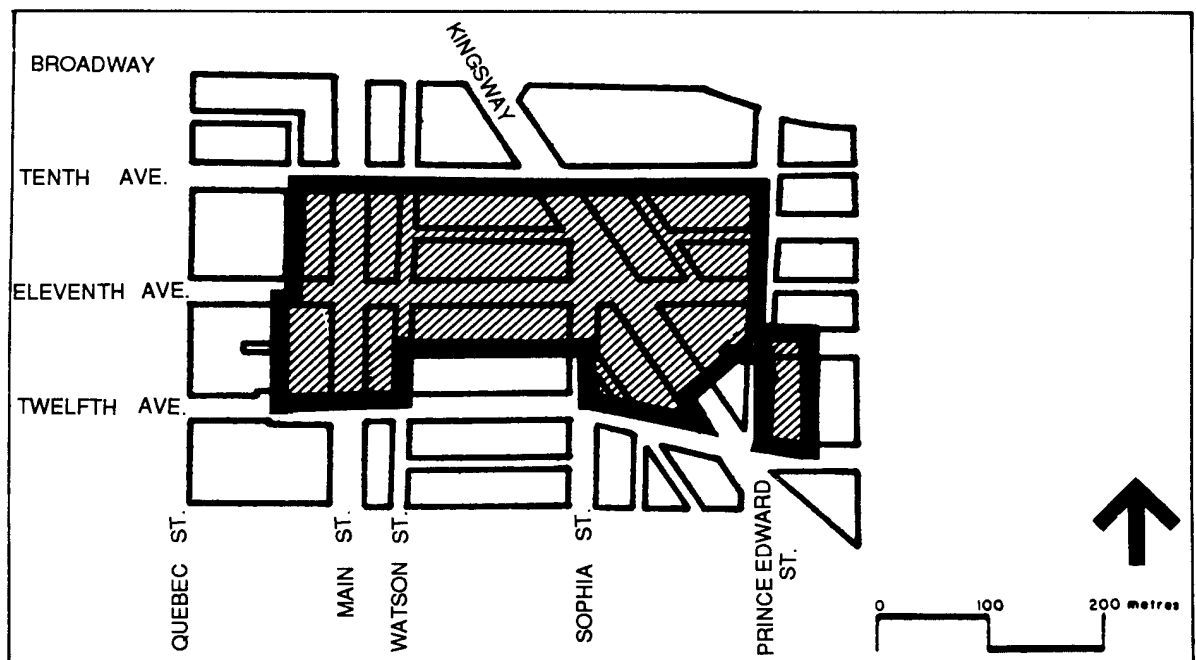
Amended February 4, 1992 and September 10, 1996

Note: The guidelines in this report are organized under standardized headings which are being used for all guideline reports. As a consequence, there are gaps in the numbering sequence where no guidelines apply.

1 Application and Intent

These guidelines are to be used in conjunction with the C-3A Schedule of the Zoning and Development By-law and the Central Broadway C-3A Urban Design Guidelines. The guidelines are to be used in conjunction with development permit applications involving conditional approval in the area shown below (Figure 1). As well as assisting the applicant, the guidelines will be used by City staff in the evaluation of projects.

Figure 1. Main Street Area C-3A Zoning District



The intent of the guidelines is to achieve high-quality, mixed-use developments that will enhance the Main Street and Broadway area as a core shopping area, provide continuity of retail development and integrated pedestrian spaces, and reinforce the Main Street and Broadway intersection as a focal point of activity for the community of Mount Pleasant.

Wherever reference is made in these guidelines to residential uses, the provision also applies to Artist Studio — Class A, Artist Studio — Class B and the associated residential unit.

2 General Design Considerations

This area has a high number of significant older buildings of masonry and frame construction. The detailed facades and concentration of these structures heightens the historic and "downtown" character which is more evident here than in any other sub-area along the Central Broadway corridor.

The Lee Building at the northwest corner of Main and Broadway is the most significant example because of its corner location, seven storey height and street level arcade along Broadway.

Generally, the building heights vary from one to four storeys throughout the area. Larger buildings feature retail uses at grade with some limited office on upper floors but by and large upper storeys are residential in use.

2.3 Orientation

Retail uses should have their primary orientation to Main Street. On corner sites, retail orientation to both streets is desirable but not essential.

2.8 Noise

Proper acoustical design of any residential units is essential in new construction near noisy traffic arterials.

All development proposals containing residential units should provide evidence in the form of a report and recommendations prepared by persons trained in acoustics and current techniques of noise measurement demonstrating that the noise levels in those portions of the dwelling units listed below shall not exceed the noise levels expressed in decibels set opposite such portions of the dwelling units. The noise level is defined as the A-weighted 24-hour equivalent (Leq) sound level and will be defined simply as the noise level in decibels.

Portion of Dwelling Unit	Noise Levels (Decibels)
bedroom	35
living, dining, recreation rooms	40
kitchen, bathrooms, hallways	45
terraces, patios, balconies	60

New development should minimize the potential noise impact to their habitable areas through measures which may include:

- (a) Sensitive site planning (e.g. setback, stairwell location, single loading corridor, locate living rooms and bedrooms away from potential noise sources).
- (b) Building construction (e.g. masonry construction, triple glazing).
- (c) Noise buffers (e.g. glazed balconies, masonry walls and fences and landscaping).
- (d) Alternate ventilation system (e.g. baffled wall vents).

3 Uses

Main Street and Broadway should be reinforced as shopping streets with local and district shopping uses being the dominant activity at grade in any new development in this C-3A area. Continuous small frontages expressing a variety and diversity of activities for shoppers are appropriate. Retail

shops, restaurants, grocery stores, public libraries and service-oriented uses such as drycleaners are encouraged at street level. Local real estate offices and branch banks may also be appropriate.

Generally, mixed use development is to be encouraged in the Main Street and Broadway area. Office uses may be both of district and local in service. Residential uses are in keeping with the historic mixed use of many buildings on Main Street.

4 Guidelines Pertaining to the Regulations of the Zoning and Development By-law

4.2 Frontage

The lack of side yards minimizes the differences in frontage for commercial buildings. This creates a cohesiveness in most blocks at street level. New commercial development should incorporate design elements that reinforce the existing incremental rhythm at the street level. All businesses should provide a continuous retail frontage which will be a benefit to both the pedestrian and merchant. Storefronts should be small to encourage window shopping and continuing pedestrian interest.

4.3 Height

New development should be built to a height that matches existing significant older buildings up to six storeys, 21.4 m in height. In as much as it is practical, new development should match existing character in terms of height, scale and storefront character.

4.4 Front Yard

Most existing commercial developments have no front yard setback. This pattern should be maintained as it provides a cohesive image for the street and provides significant retail continuity.

New development should provide soft corners at the Main Street and Broadway intersection. Buildings can be indented, colonnaded or cut off to provide public short cuts through the building, places to wait out of the rain, as well as visually widening the intersection. Consistency must be maintained between individual buildings in order that pedestrians are presented with a continuous environment.

4.9 Off-Street Parking and Loading

All off-street parking areas should be provided on-site or in collective parking. On-site parking and loading should be provided at the rear of buildings with the access from the lane.

5 Architectural Components

5.3 Entrances

New commercial development should provide entrances that are of a pedestrian scale and which create facade articulation and visual interest while providing weather protection.

8 Landscaping

New commercial development near the Main Street and Broadway intersection should provide a more urban landscape treatment and street trees should be planted along Main Street and Broadway in agreement with the City Engineer.

Submission Requirements

Applicants should refer to the information required for significant development permit applications contained in Brochure #3 - **How To...Development Permits for Major Applications**.