



City of Vancouver *Land Use and Development Policies and Guidelines*

Community Services, 453 W. 12th Ave Vancouver, BC V5Y 1V4 ☎ 604.873.7344 fax 604.873.7060

planning@vancouver.ca



VICTORIA-FRASERVIEW/ KILLARNEY COMMUNITY VISION

Adopted by City Council on January 15, 2002

The following information has been extracted from 2 sources: the Victoria-Fraserview/Killarney Community Vision and a report adopted by Council on July 27, 2000 on conditional use applications in visioned areas. For a complete set of Council-approved Vision Directions for Victoria-Fraserview/Killarney, please refer to the “Victoria-Fraserview/Killarney Community Vision” document which is available free from the internet at vancouver.ca/visions or from the Planning Department (604.871.6126) at a cost.

- 1 COMMUNITY VISION: GENERAL DESCRIPTION
The Victoria-Fraserview/Killarney Community Vision applies to the area outlined on the map below.



The Victoria-Fraserview/Killarney Community Vision describes the kind of community people want Victoria-Fraserview/Killarney to become over the next 10 to 20 years. The Vision illustrates how CityPlan directions (adopted by City Council in 1995), should be implemented in Victoria-Fraserview/Killarney. Over 100 Vision Directions cover topics like: traffic on arterial streets; walking and biking; shopping areas; the environment; streets and public places; neighbourhoods; new housing; and community involvement.

The Victoria-Fraserview/Killarney Community Vision will be used by City Council and staff to help guide future planning, to set priorities for capital projects, to direct City programs and services, and to make decisions affecting the community.

2 REZONING POLICY

For the most part, additional area planning will be required before any zoning changes will be considered. Individual rezonings will not be considered prior to this additional planning, except in the following circumstances: heritage retention projects, social or affordable housing projects, institutional uses, and seniors low-rise housing or small scale projects like Abbeyfield. Please refer to page 54 of the Victoria-Fraserview/Killarney Community Vision for more information.

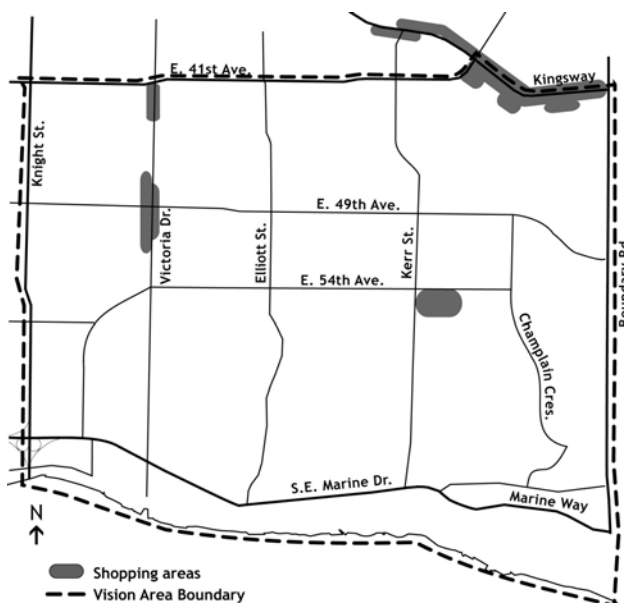
3 DEVELOPMENT APPLICATIONS UNDER EXISTING ZONING

Generally, development is anticipated to continue under existing zoning regulations, with development applications processed as usual, since such development will not significantly contradict adopted Vision Directions.

The exceptions are some conditional uses in C-2 zones located in the Victoria Drive and Kingsway/Joyce shopping areas identified by the Vision as areas for active, pedestrian-friendly shops and services. (See map and notes below.) Conditional uses in these zones that provide auto access from the street frontages and/or parking facilities in front of buildings, and/or buildings without storefronts, would, if permitted at grade along the shopping area street frontages identified below, contradict these policy directions. The C-2 regulations require that, in considering conditional uses, account be taken of “all applicable policies and guidelines” adopted by Council. Consequently, new proposals of conditional uses in these locations that are inconsistent with the Vision Directions, while they will be considered individually, will generally not be supported. Prospective applicants are encouraged to seek early advice from the Community Visions Implementation team.

If any additions or changes to the Champlain Mall shopping area are proposed, the development should contribute to the Vision Directions for the area, as set out in the Victoria-Fraserview/Killarney Vision.

SHOPPING AREAS IDENTIFIED IN THE VICTORIA-FRASERVIEW/KILLARNEY COMMUNITY VISION



Relevant Vision Directions for these areas may be found in the Victoria-Fraserview/Killarney Community Vision in the following sections:

- Section 24 - Victoria Drive Shopping Area;
- Section 25 - Kingsway/Joyce Shopping Area (“Collingwood”); and
- Section 26 - Champlain Mall.