

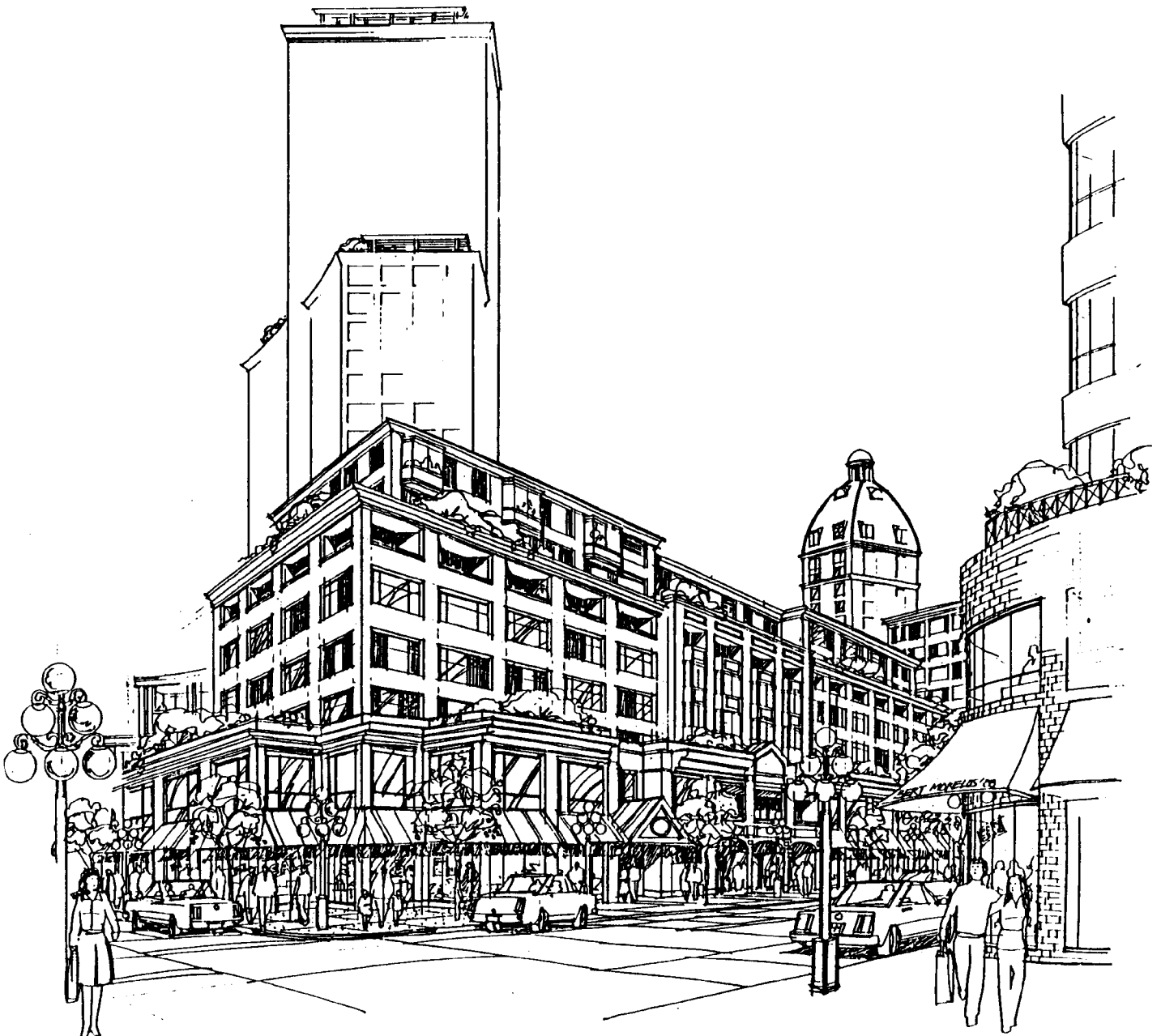


City of Vancouver *Land Use and Development Policies and Guidelines*

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INTERNATIONAL VILLAGE CD-1 GUIDELINES

Adopted by City Council October 23, 1990



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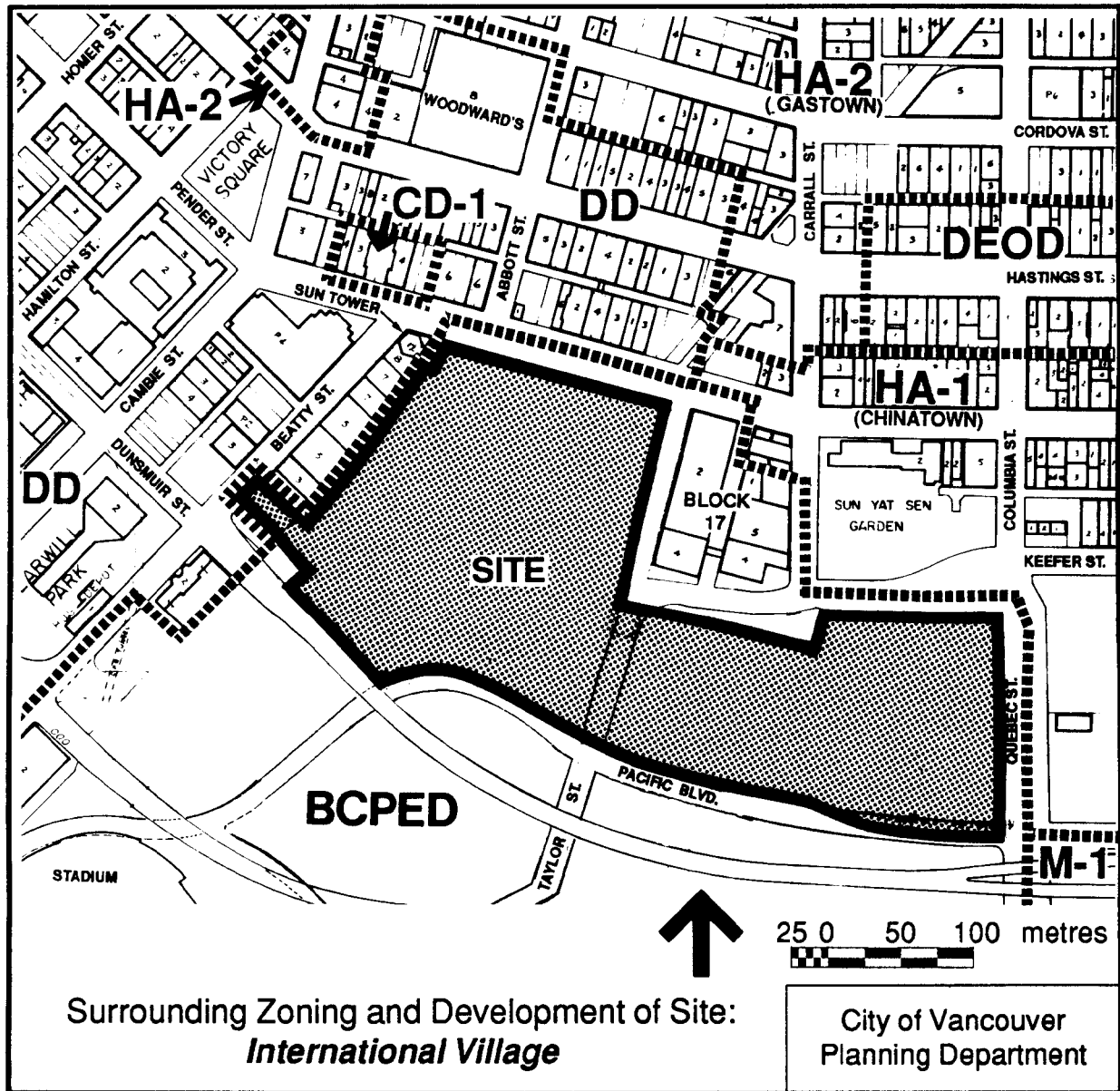
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1 Application and Intent

These guidelines are to be used in conjunction with the International Village CD-1 By-law and the approved Form of Development to guide the development of the International Village neighbourhood (see Figure 1). As well as assisting the development permit applicant, the guidelines will also be used by City staff in the evaluation of proposed developments.

The purpose of the guidelines is to ensure that the design of individual developments is compatible with the overall design concept for International Village and the character of adjacent areas.

Figure 1. International Village Boundary



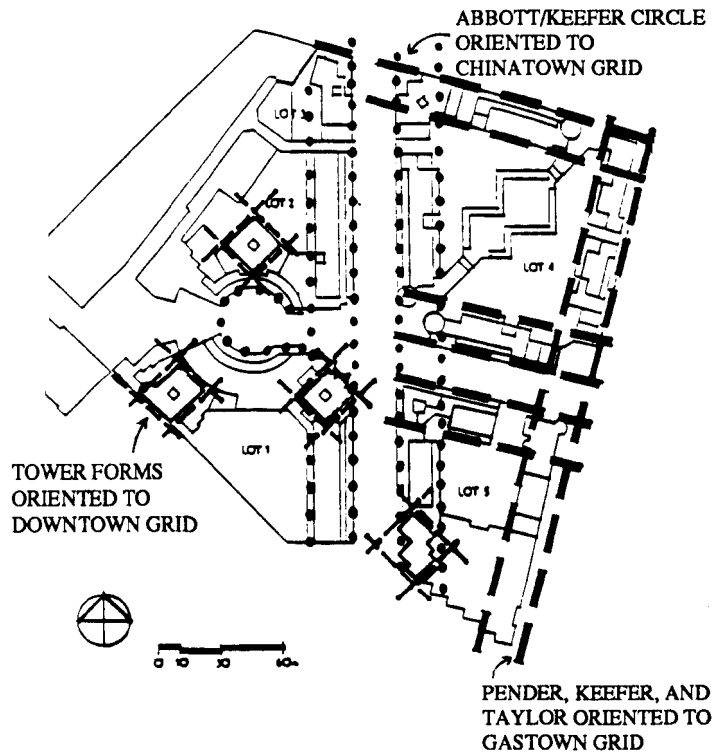
2 Overall Guidelines

Important organizational principles which determine the pattern of development are: achievement of street-oriented retail and shopping environments with varied and distinctive characters; protection of view corridors; establishment of viewing axes, focal points, and gateways; provision of livable units for adults and families; and response to adjacent areas in terms of architectural scale, orientation, massing, expression, details, and materials.

2.1 Orientation

- 2.1.1 Buildings higher than 32 meters should align with the Downtown Street grid. Buildings less than 32 meters should respond to the Gastown and Chinatown grids as illustrated in the Form of Development. See Figure 2.

Figure 2. Grid Orientation



- 2.1.2 Buildings should be sited symmetrically around the Keefer Circle as illustrated in the Form of Development.

2.2 Massing

- 2.2.1 The maximum heights in the CD-1 By-law and the overall massing illustrated in the Form of Development respond to requirements for view corridors, sunlight penetration and appropriate scale.

When evaluating the details of the massing, within the massing illustrated in the Form of Development, consideration should be given to the compatibility with surrounding structures and residential livability.

2.3 Built Form Edge

The built form edge is a building facade or other structure which forms a continuous or nearly continuous vertical plane which defines the street. For example, a free-standing wall or free-standing colonnade may fulfill this requirement. The By-law requires a built form edge of at least 7 meters in height on Pender, Abbott, Keefer, and Taylor Streets. The approved Form of Development illustrates this. Further clarification is found in the specific parcel guidelines.

The following building elements are encouraged as minor irregularities and articulation:

- (a) bay window projections above the first storey;
- (b) pilasters, cornices, eaves, and chimneys;
- (c) access stairs;
- (d) privacy screens;
- (e) signage; and
- (f) weather protection as required by by-law.

No encroachments onto dedicated streets will be permitted except weather protection constructed in accordance with the CD-1 By-law and signs affixed to buildings.

2.4 Views

View corridors to be respected are reflected in the massing and heights proposed in the Form of Development.

2.5 Architectural Expression, Details, Colours, and Materials

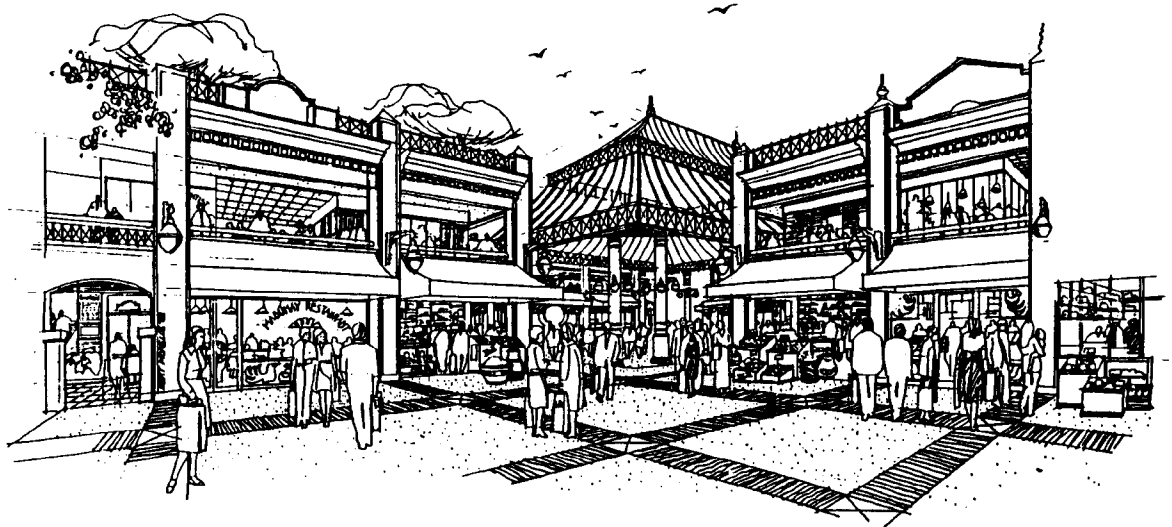
2.5.1 Buildings should reflect the age, time and place in which they are built while being sympathetic to adjacent areas.

2.5.2 Building should be attractive to the pedestrian by avoiding blank, impersonal facades, especially at street level. Pedestrian interest along retail streets is encouraged as noted in the By-law. Pedestrian interest will also be encouraged through the use of building elements noted in section 2.3.

2.5.3 Developments fronting Pender Street and the pedestrian lane and courts on Parcel 4 should reflect, but need not imitate, the Chinatown character as found on Pender Street between Carrall and Main Streets, which typically includes strong vertical elements, recessed balconies, and strong and colourful decorated facades and signage, as suggested on Figures 3, A and B.

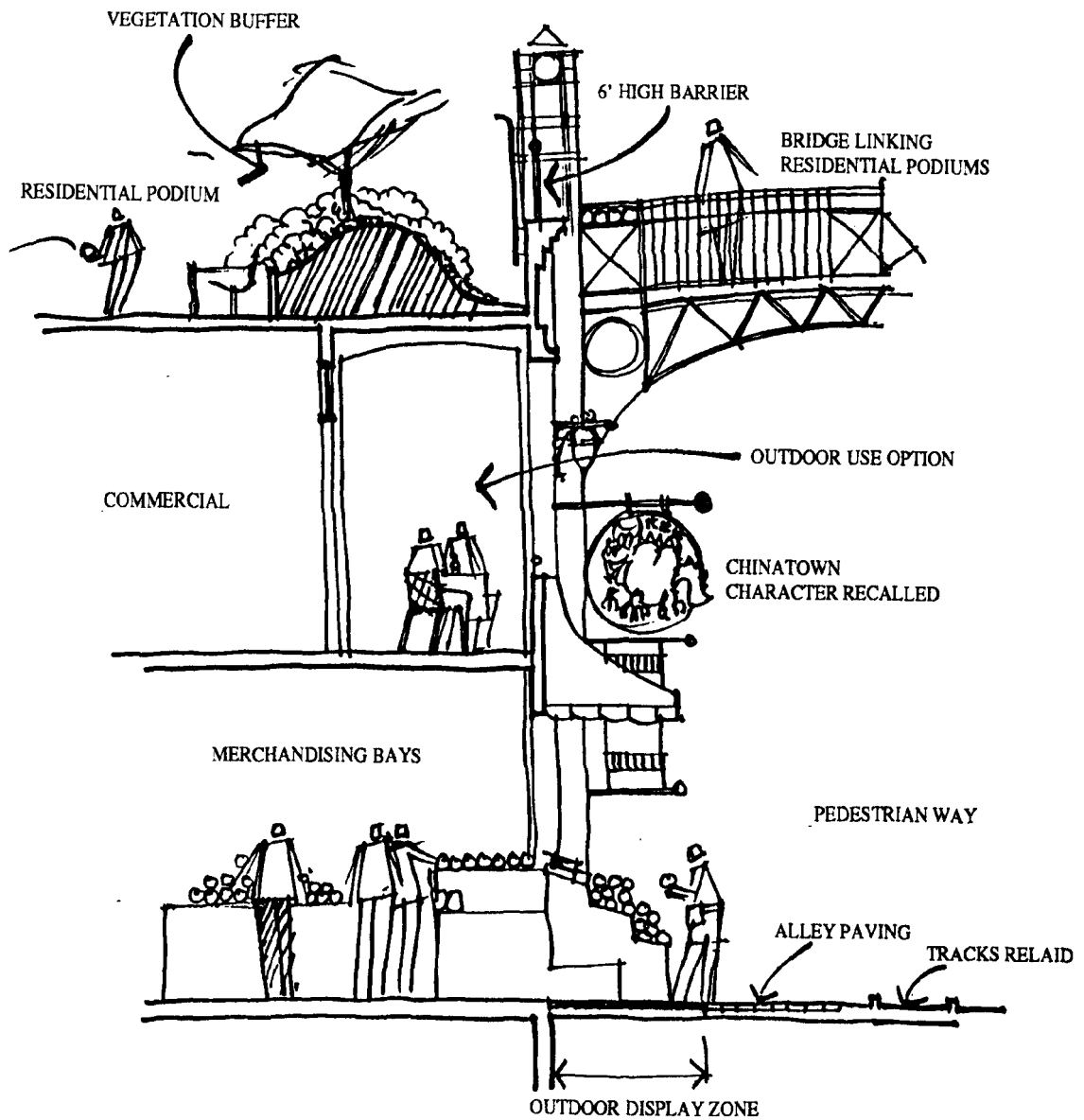
Figure 3.A

NOTE: Form of development applies to massing and height only — the architectural detailing of the facades represents one response to the design guidelines.



**Pedestrian Way (Old Bce Right of Way) Linking
Kefer/Abbott Intersection with Pender Street.**

Figure 3.B

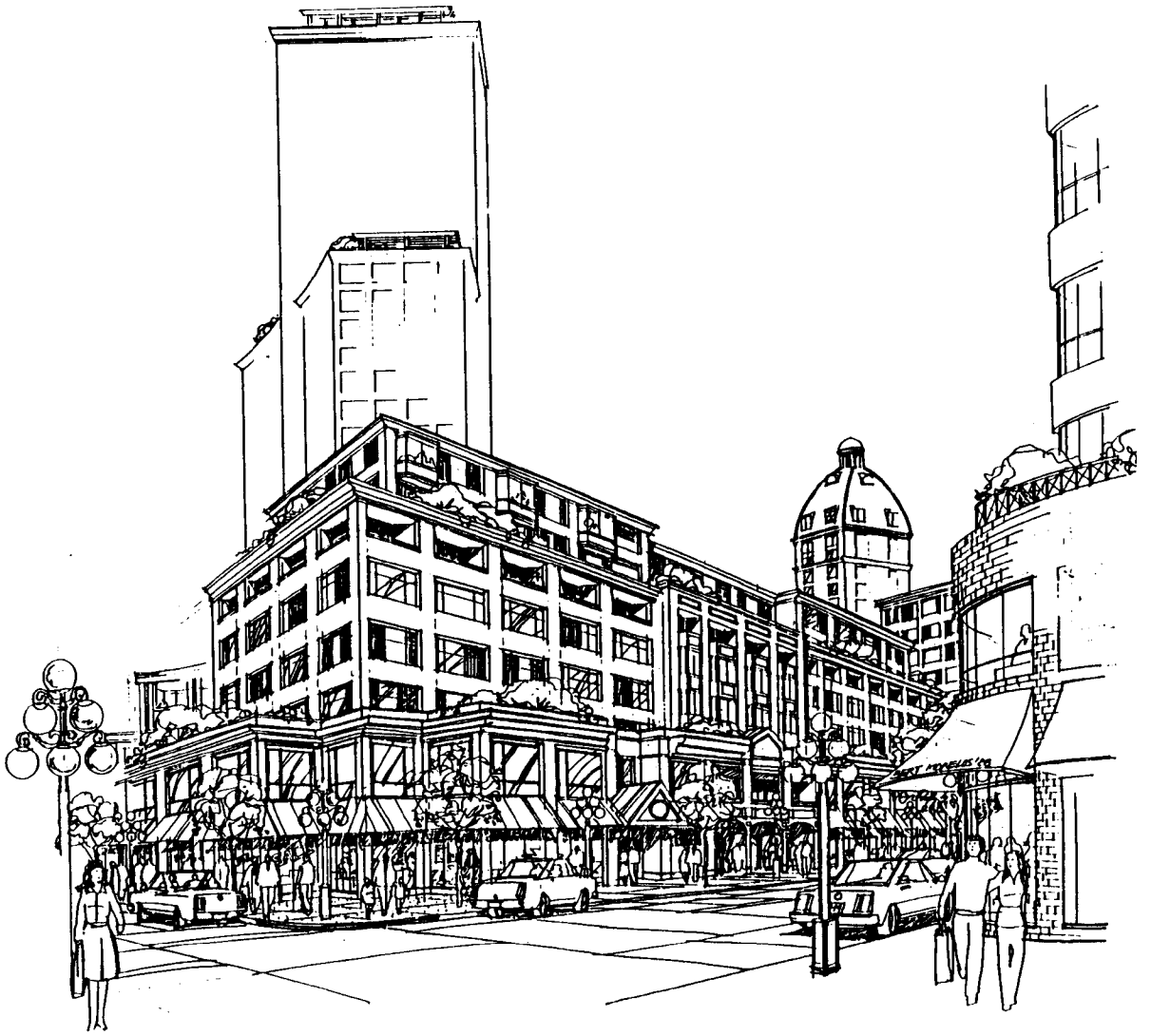


Section Cut Through Edge of Old BCE Right-of-way.

- 2.5.4 Developments fronting Abbott Street, Keefer Street east of Abbott, and Taylor Street should reflect, but need not imitate, the character of Gastown which typically includes masonry facades, strong framework, punched windows, and expressed lintels, sills and cornices, as suggested on Figures 4, A, B, and C.

Figure 4.A

NOTE: Form of development applies to massing and height only — the architectural detailing of the facades represents one response to the design guidelines.



Keefer and Abbott Street intersection looking north at Residential over Commercial.

Figure 4.B Street (Residential)

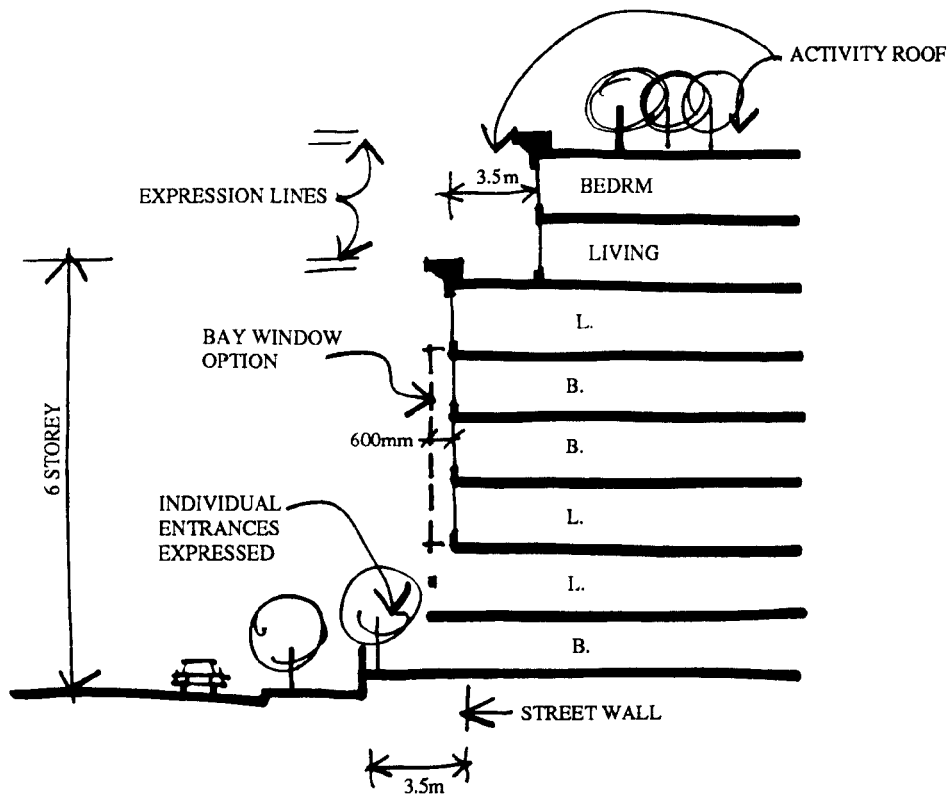
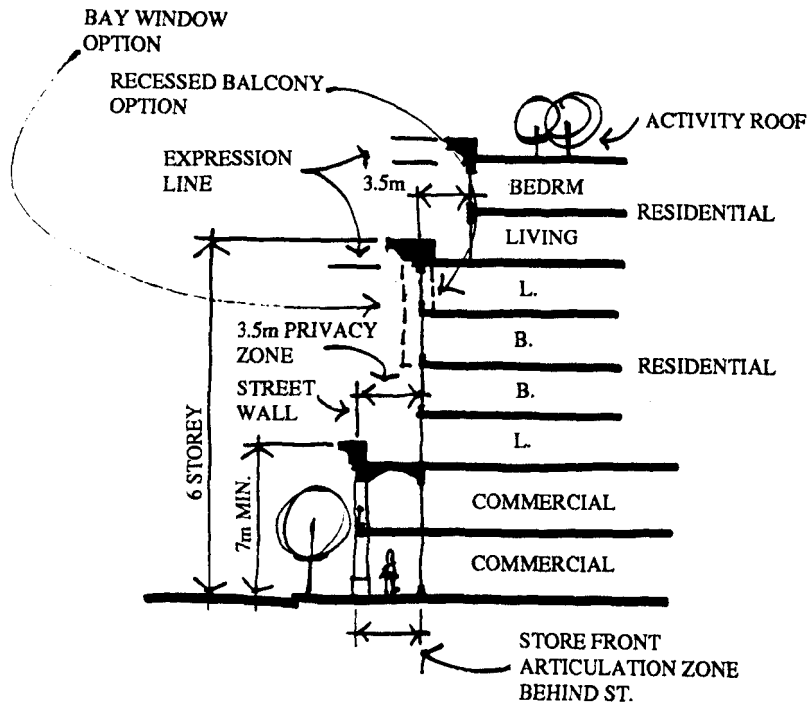


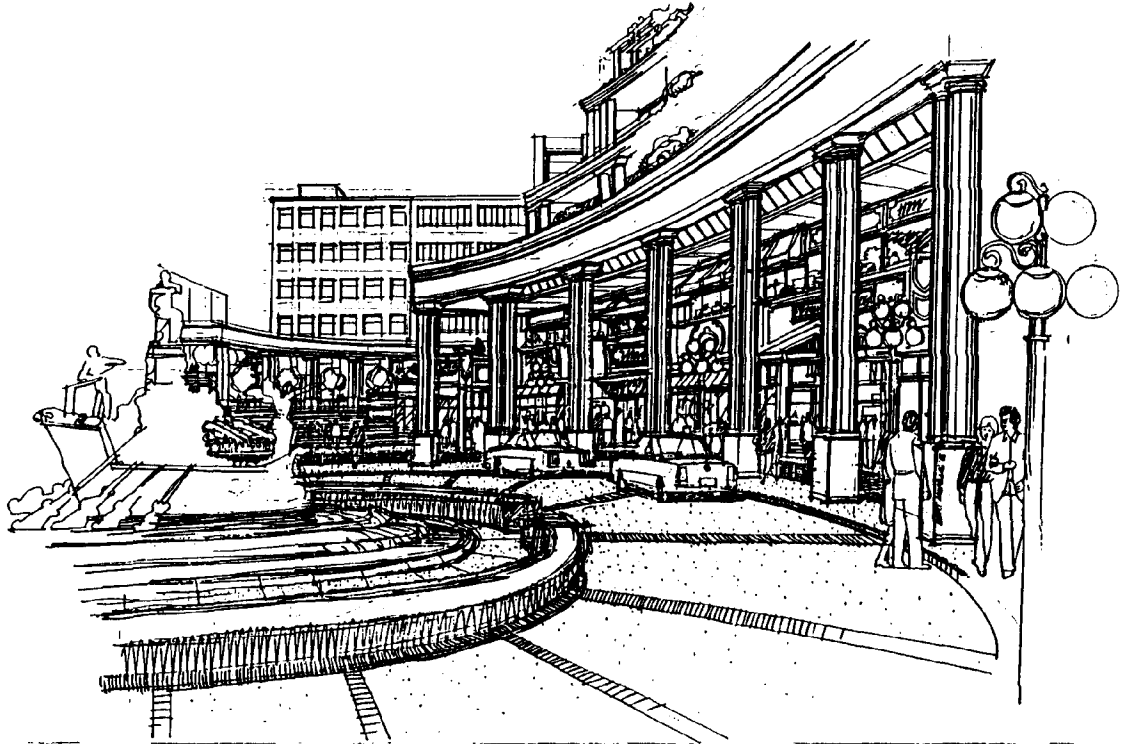
Figure 4.C Street (Commercial)



- 2.5.5 Developments fronting Keefer Street, west of Abbott should reflect, but need not imitate, the classical design elements of Downtown, such as those of the former C.P.R. Station, which include colonnades and strong entablature and cornices, as suggested on Figures 5, A and B to symbolize the area's importance as a public place.

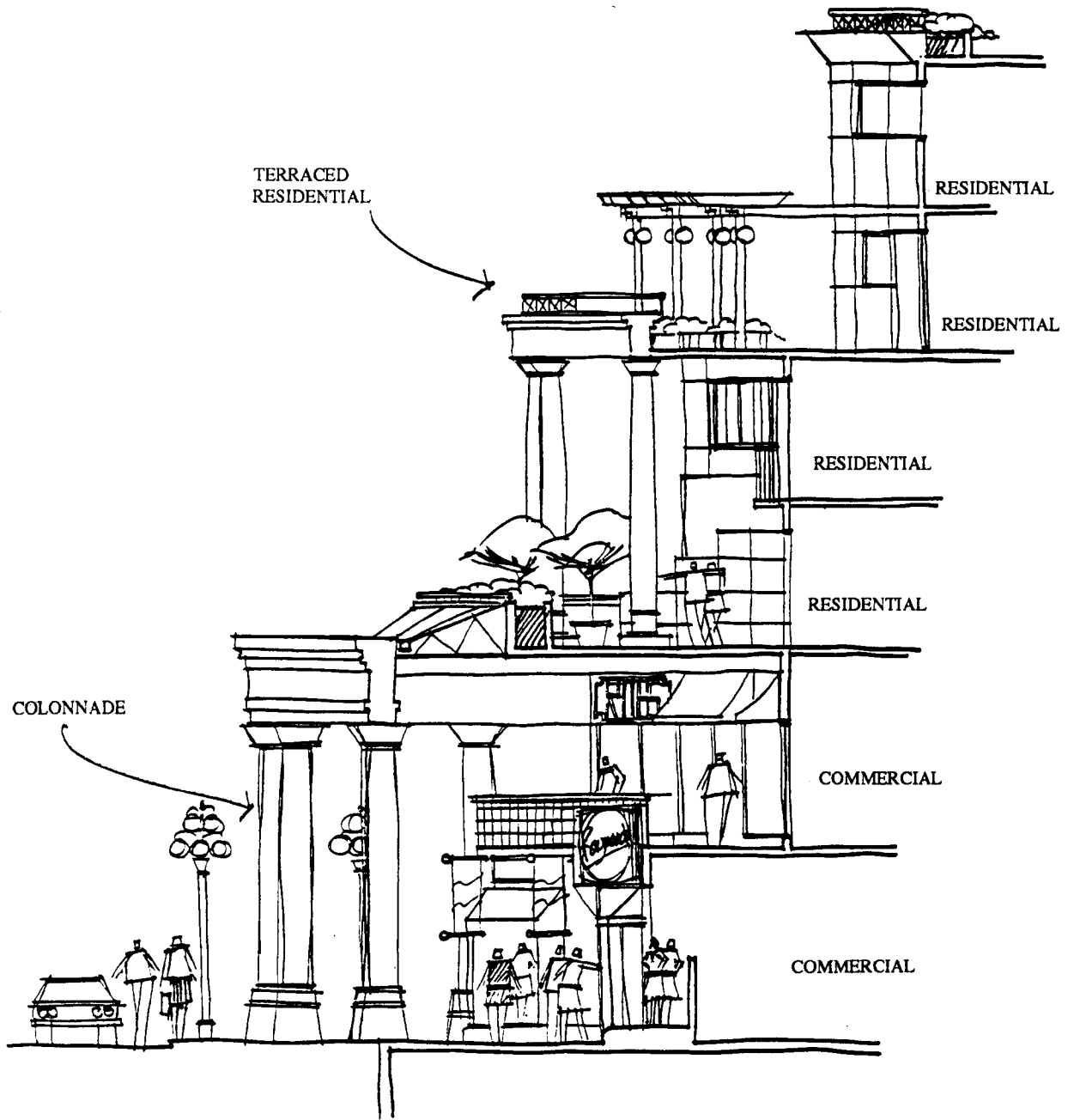
Figure 5.A

NOTE: Form of development applies to massing and height only — the architectural detailing of the facades represents one response to the design guidelines.



Keefer Street Circle looking west to Keefer Steps, ALRT Station and the City Core.

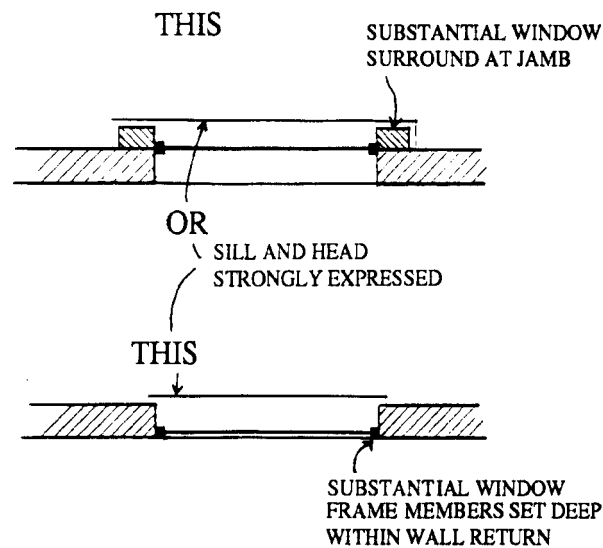
Figure 5.B



Section cut through edge of Keefer Street Circle.

- 2.5.6 All windows should be detailed with frame members of substantial proportion or a significant recess at the wall return as suggested on Figure 6.

Figure 6.



- 2.5.7 Building facades shall be comprised of three horizontal zones: base, middle, and top, in street wall and tower forms, as illustrated in Figure 7, typically characterized as follows:

(a) Streetwall

(i) base (first 2 storeys)

- a masonry-like frame should be expressed
- 2 storey bays should read as unified vertical elements
- individualized weather protection should be designed to emphasize the bays
- access to the second storey should be expressed as recessed arcades
- a strong horizontal expression line at the top of the base such as a parapet or cornice shall be expressed

(ii) middle (storeys 3-6)

- a masonry-like frame should be expressed
- windows should comprise a maximum of 60% of the wall area
- balconies should be semi or fully recessed
- bay windows and balconies could project up to 600 mm through the build-to line provided they do not encroach onto the street
- a strong horizontal expression line such as a cornice or parapet should be provided at top of the 6th storey cornice line

(iii) top (storeys 7-10)

All guidelines for middle zone apply, except:

- where a setback is not required at the 7th storey, there should not be a horizontal expression line; instead the character of the middle zone should be extended to the full height
- where a setback is required at the 7th storey, the upper 3 floors should have a lighter frame expression with increased glazing

(b) Towers

(i) base (first 6 storeys)

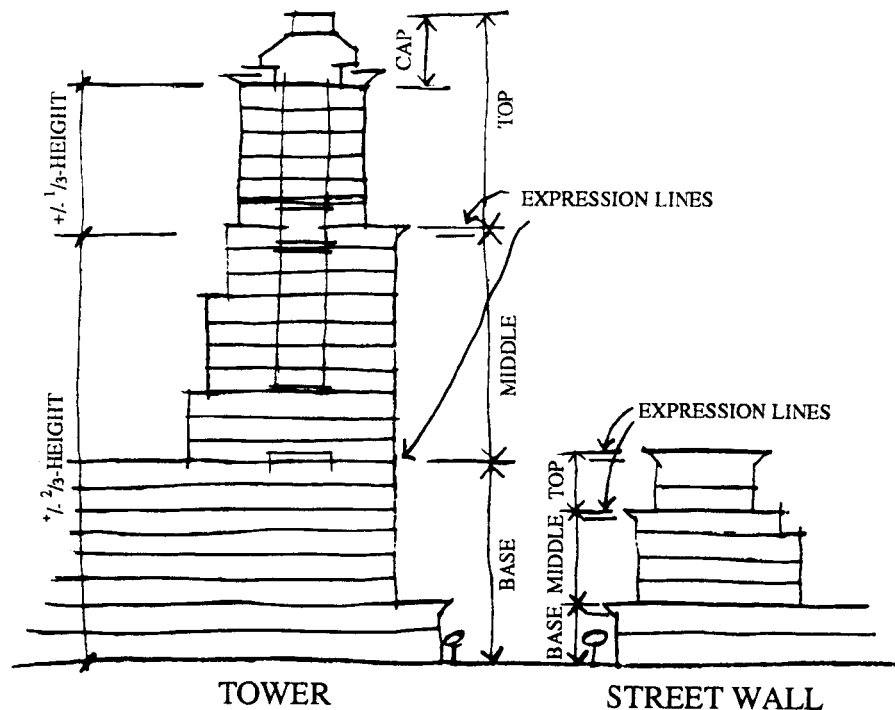
- towers should rise from a distinctive base integrated with the streetwall
- at a limited number of points identified in the specific parcel guidelines and illustrated in the Form of Development, the mid-zone character of the tower could be extended to the street
- all guidelines for the middle streetwall zone apply except that there need not be a horizontal expression line at the sixth storey

(ii) middle (up to 2/3 tower height)

- a balanced vertical and horizontal frame with masonry-like cladding and a maximum of 60% glazing should be expressed
- balconies should have at least 1/2 of their area recessed into the building mass

- bay windows and "french door" safety railings could project up to 600 mm beyond the building facade provided they do not encroach onto the street; the frame should be expressed at building corners
 - a strong horizontal expression line should be provided at the top storey of this zone
- (iii) top (upper 1/3 tower height)
- buildings should be stepped back to emphasize slenderness of towers
 - the vertical frame should be emphasized but with a lighter frame expression encouraged
 - towers should be finished with a distinctive cap
 - in certain instances, identified in the parcel guidelines, the character of the tower top zone may be continued down through lower zones

Figure 7.



2.6 Viewing Axes, Focal Points, and Gateways

A number of viewing axes, focal points and gateways are important to the design concept for this neighbourhood. These are specified in the Form of Development.

2.7 Roofscape

Elements such as roof gardens, gazebos, trellises, roof decks, and pitched roofs should be provided to enhance the visual interest of the skyline and the usability of roofs, and be attractive when viewed from above. Simple flat gravel roofs should be avoided.

2.8 Role of Landscaping

The built form and landscaping should be well integrated formally and functionally. The liberal use of planting is encouraged.

2.9 Disabled Access

The accessibility needs of the disabled should be carefully considered in both the public and private realms to facilitate functional and comfortable linkages throughout the neighbourhood.

2.10 Servicing and Vehicular Access

- 2.10.1 Garbage storage and collection and commercial and residential loading must be located in service courts and loading bays inset from lane as shown on the approved Form of Development. The location of these functions on streets and lanes is not permitted.

- 2.10.2 Residential parking should be clearly separated from visitor, stadium, and commercial parking. Access locations must be approved by the City Engineer. Access is restricted and discouraged in certain locations as noted in the Form of Development.
- 2.10.3 Residential parking entrances should be enhanced in their design as a point of arrival.
- 2.11 Grade-Level Commercial**
Requirements for grade-level commercial development are specified in the By-law.
- 2.12 Residential Development**
- 2.12.1 The residential buildings should be designed to express individual units within a coherent massing. Facades should be articulated with elements such as bay windows, recessed balconies, chimneys, and pilasters.
- 2.12.2 All residential lobbies should have direct access to grade.
- 2.12.3 All private and semi-private open spaces should be clearly defined.
- 2.12.4 Semi-private open spaces for adults and for children should be clearly separated and be adequate for the respective populations.
- 2.12.5 The dwelling units should have a high degree of livability. Specific design considerations are:
- (a) all habitable rooms, through their location and orientation, should have adequate access to daylight and, to the greatest extent possible, direct sunlight;
 - (b) all units should have one unobstructed view of a minimum length of 25 m, and should be oriented to longer views where these exist;
 - (c) units that are less than 25 m apart should be oriented in such a way as to ensure visual privacy between units;
 - (d) each unit should have direct access to a private outdoor space having a minimum depth of 2 m and a minimum area of 4 square meters;
 - (e) each unit should have access to semi-private outdoor spaces suited to the needs of the anticipated population;
 - (f) each residential development and unit should be designed to be safe and secure yet not fortress-like; and
 - (g) each residential development should provide on-site amenities suitable for the anticipated population.
- 2.12.6 All roof decks should be landscaped to be attractive when viewed from above and serve the needs of the anticipated population.
- 2.12.7 Soil on the podium levels should be of sufficient depth to permit significant mature planting.
- 2.12.8 The extent of shadowing of private and semi-private open space should be minimized by profiling the towers' upper levels.
- 2.12.9 The extent of overlook from within towers onto private outdoor areas should be minimized by screening and orientation.
- 2.13 Parks and Public Open Spaces**
- 2.13.1 Parks should be designed and equipped to serve the active and passive recreational needs of the anticipated population.
- 2.13.2 Pedestrian circulation within parks should be natural extensions of the circulation patterns in nearby developments and the street system.
- 2.13.3 Park space should be strongly defined having particular regard to edge treatments and relationships to adjacent grades.

- 2.13.4 Parks should be designed with safety and security in mind having particular regard to visual supervision from adjacent streets and developments.
- 2.13.5 Parks should be designed to be durable having particular regard to the size of plant materials, types of landscape and building materials, and construction details.
- 2.13.6 The form of structures within parks should reflect the elements of neighbourhood architecture.

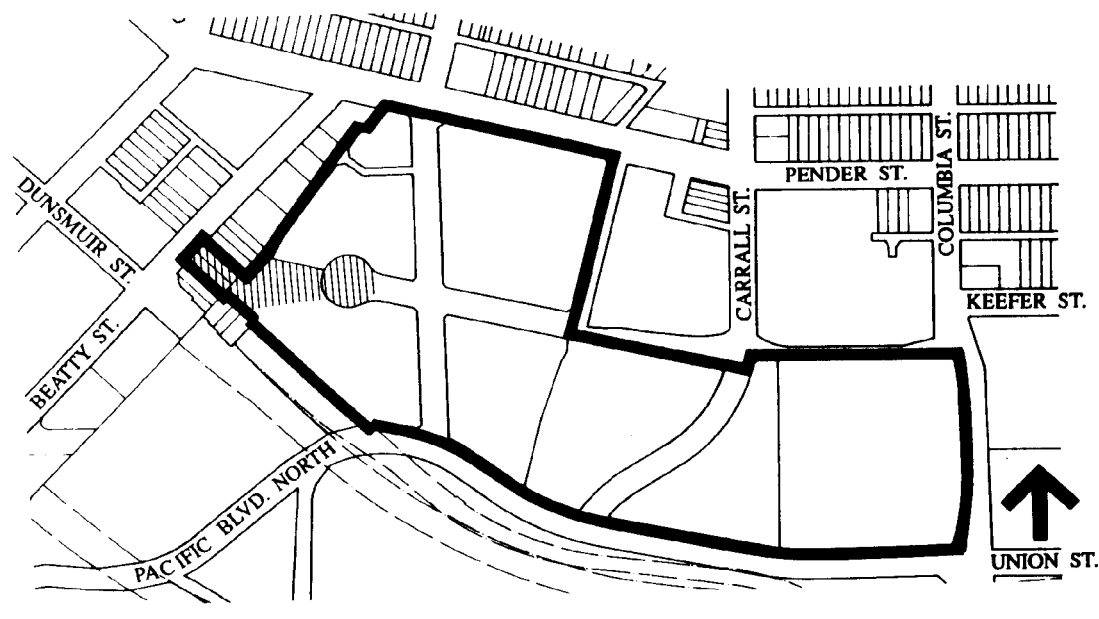
2.14 Response to Street Design

- 2.14.1 The urban design of streets and adjacent built forms should be carefully coordinated. Servicing Agreements between the City and the developer will be entered into which detail:
 - sidewalk treatments;
 - street paving material and patterns and a sculptural element within the Keefer Circle; and
 - street tree, street furniture, and lamp standard types and locations.

Developments on private parcels must coordinate both functionally and aesthetically with the approved street designs.

3 Parcel One Guidelines

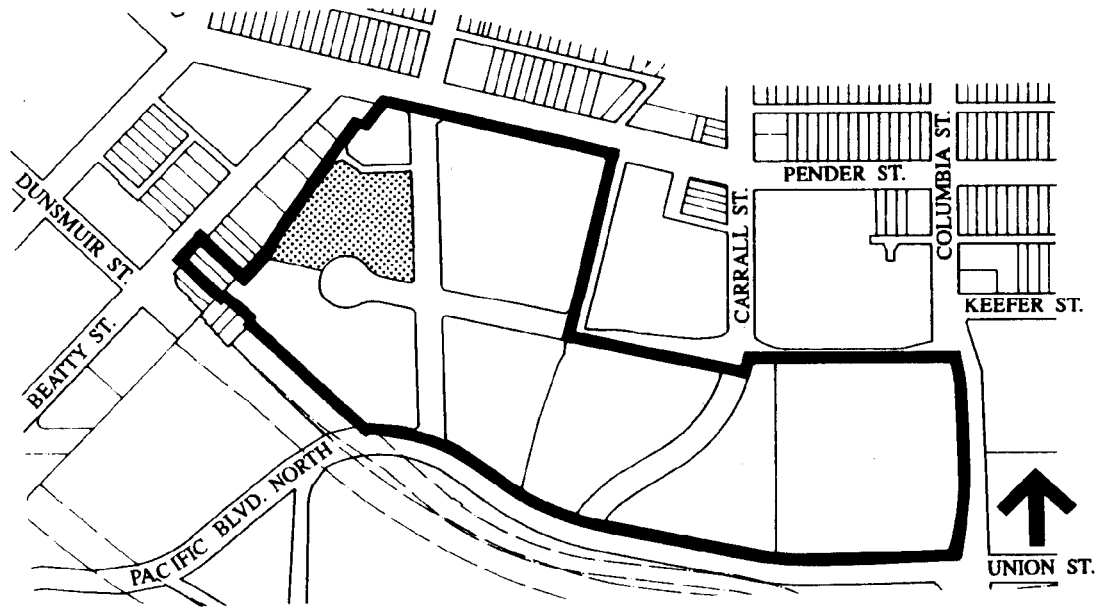
Figure 8.



- 3.1 The southerly portion of the podium outdoor common area should be at or above the roof level of the ALRT station.
- 3.2 Detailed consideration should be given to the interface of the ALRT station and guideway and the proposed development.
- 3.3 The south edge of this outdoor area should be landscaped to reduce visual and acoustic intrusion from the ALRT and viaducts.
- 3.4 There should be a clear demarcation of the open space between the hotel and residential uses.
- 3.5 The tower at the corner of Keefer and Abbott should extend through to the street and should form an axial focus to the pedestrian lane on Parcel 4 as illustrated in the Form of Development.
- 3.6 Classical design features, including a double storey colonnade around the Keefer Circle, should be provided as described in the Keefer Circle and Steps guidelines and, generally, as illustrated in the Form of Development.

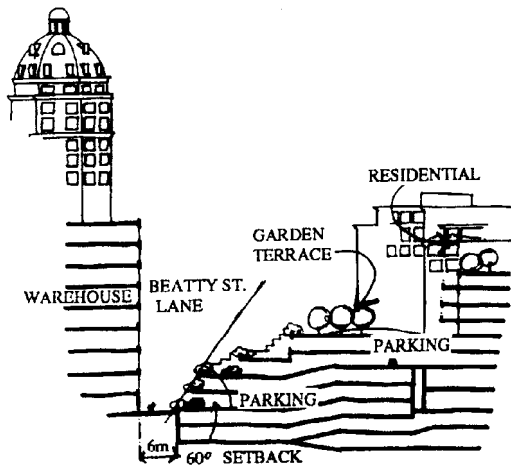
- 3.7 Vehicular access through the Keefer colonnade should be restricted to the hotel. The width of this access should be minimized.
- 3.8 The middle levels of the hotel tower on the north facade should reflect the radial pattern of the Keefer Circle.
- 3.9 The Pacific Boulevard elevation should express regular frame elements, similar to the character of Abbott Street.
- 3.10 The northwest facade of the hotel tower should terminate the axial view from Beatty Street with an element of strong visual interest.
- 4 Parcel Two Guidelines

Figure 9.



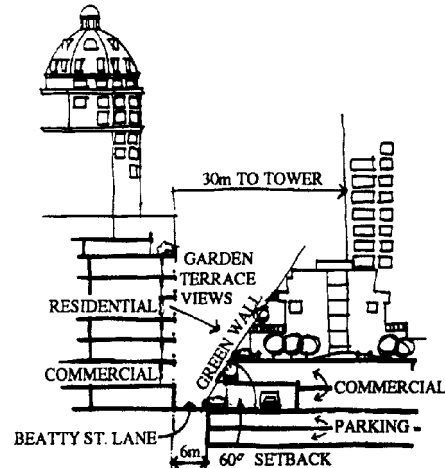
- 4.1 Classical design features, including a double storey colonnade around the Keefer Circle, should be provided as described in the Keefer Circle and Steps guidelines and, generally, as illustrated in the Form of Development.
- 4.2 There should be no vehicular access through the Keefer colonnade. Access should be provided from areas indicated in the Form of Development.
- 4.3 Development on the Beatty lane edge should be stepped back and landscaped as shown on Figures 10, A and B to provide views from existing residential windows into the landscaped areas and daylight for the rear of the buildings on Beatty Street.

Figure 10.A



Section at 526 Beatty Street Lane

Figure 10.B

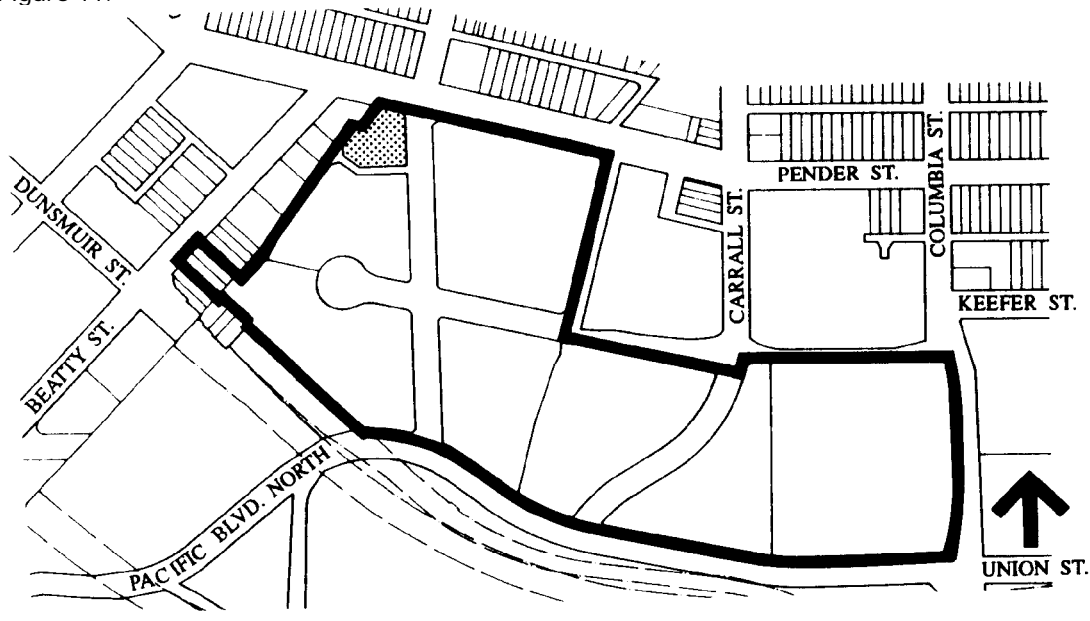


Section at 550 Beatty Street Lane

- 4.4 The mass of the buildings should be set back as illustrated in the Form of Development to provide a view from residential units on 550 Beatty to the Keefer Circle.

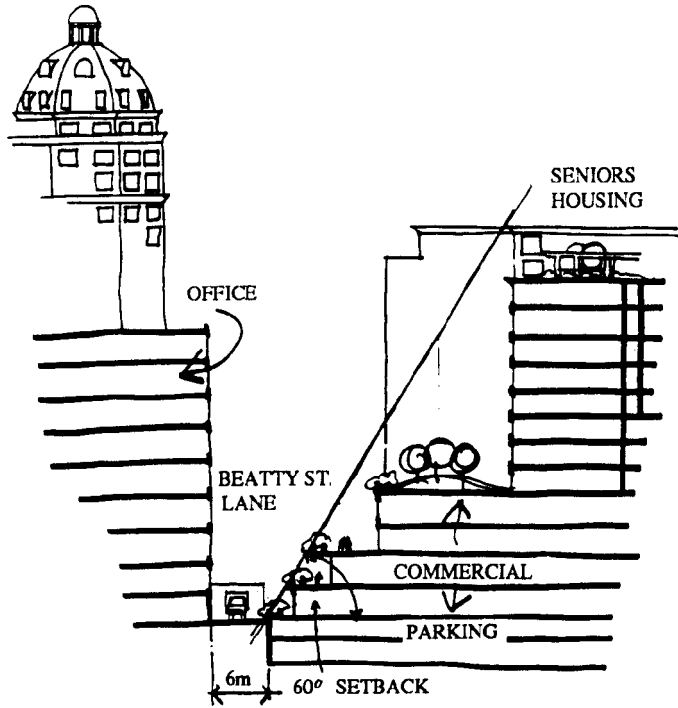
5 Parcel Three Guidelines

Figure 11.



- 5.1 The building at the corner of Abbott and Pender may be built to the streetwall for its full height to reflect the streetwall character of the adjacent area. Its corner at Abbott and Pender should be emphasized by stepping or other architectural treatment.
- 5.2 The building at the corner of Abbott and Pender should link the character of the Beatty Street wall along Pender to Abbott. It should serve as a background building to the Sun tower, not compete with or mimic it.
- 5.3 Development on the Beatty lane edge should be stepped back and landscaped as shown on Figure 12 to provide a view into the landscaped area and daylight for the rear of the adjacent buildings on Beatty Street.

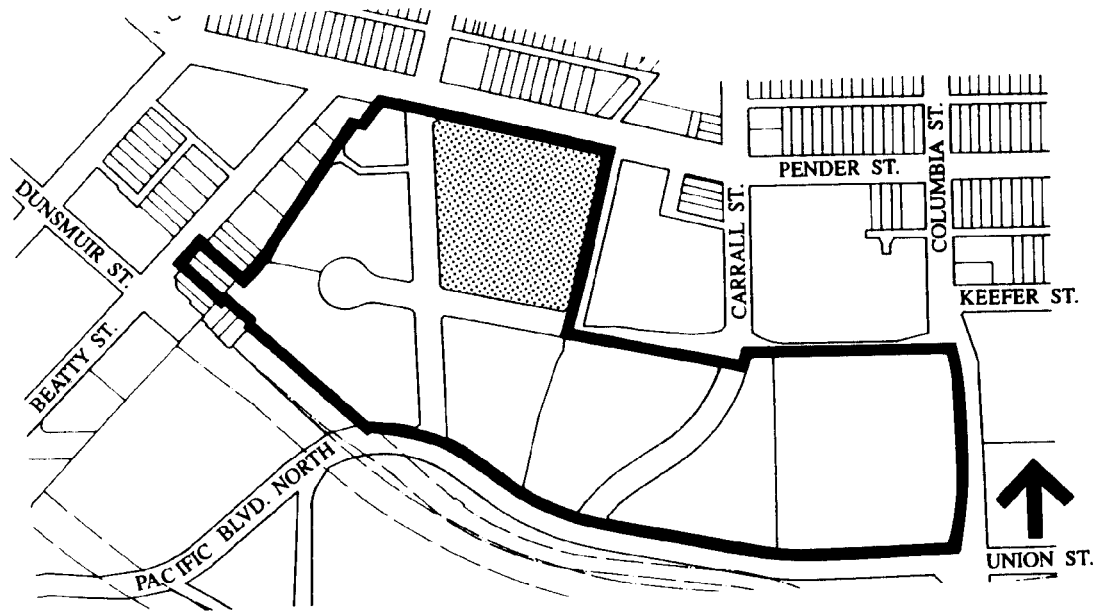
Figure 12.



Section at 518 Beatty Street Lane

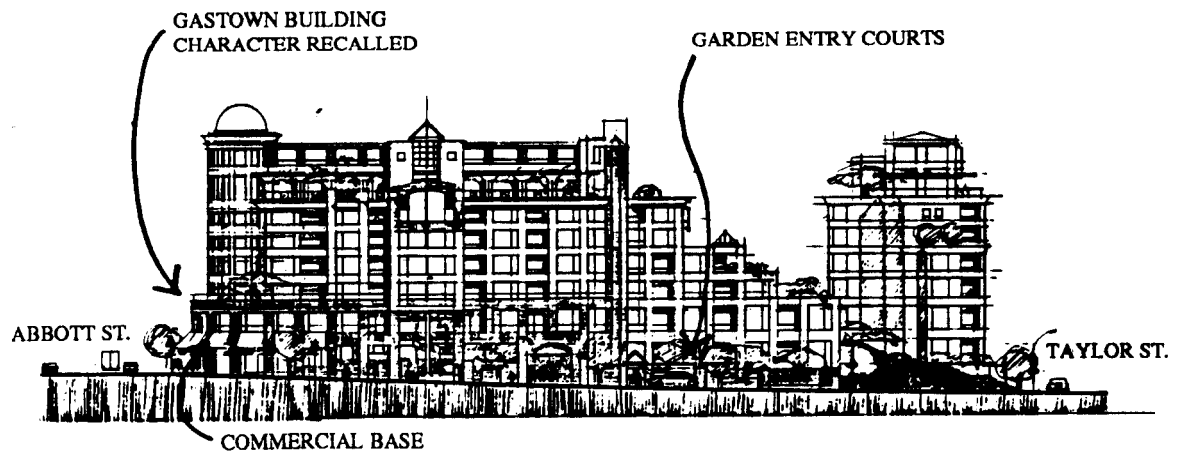
6 Parcel Four Guidelines

Figure 13.



- 6.1** The building mass should step back at the corner of Keefer and Taylor, as illustrated in the Form of Development and in Figure 14 to visually link the podium outdoor area of the podium level with the park. The minimum width between buildings should be 12 m with a 20 m setback at Level 3.

Figure 14.



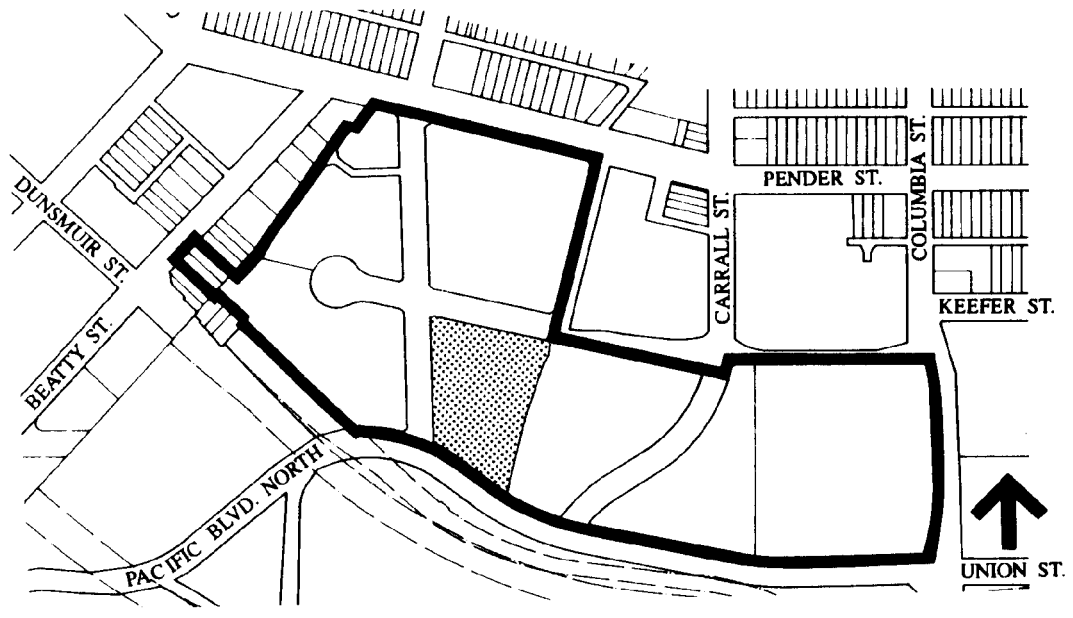
Section E-E

- East half cut through Keefer Street
- View of Keefer Street Residential stepped to Neighbourhood Park

- 6.2** Security gates for the podium level should occur towards the top of the staircase, not at the street level.
- 6.3** Primary access to residential units which are located at or near street level should be predominantly from the street.
- 6.4** The diagonal lane and courts should have the following characteristics:
- orientation along the diagonal axis identified in the Form of Development
 - inclusion of at least two courts, one of which is large enough to contain an open air pavilion
 - lane sections, including connections between courts, narrowed to reinforce the intimate scale of the pedestrian environment
 - narrow and individualized shop frontages
 - a form which does not permit a continuous view from entry to entry
 - a configuration and acoustic treatments which minimize sound transmission to the residential podium
 - open to the sky and at either end, not climate-controlled
- 6.7** Entrances to the courts and lanes should be defined by two similar buildings having a gateway character such as round or faceted buildings with strongly sculpted tops. The design of this entry at Pender Street should provide for continued pedestrian movement along Pender Street.
- 6.8** The common semi-private podium level should be planned and landscaped to be usable by adults and children of a variety of age groups.
- 6.9** The edges of the residential podium at the lanes and courts should be designed to ensure safety for children and provide a visual and acoustic buffer. The design should minimize the opportunity for objects to be thrown from the podium to the lane-level.

7 Parcel 5 Guidelines

Figure 15.

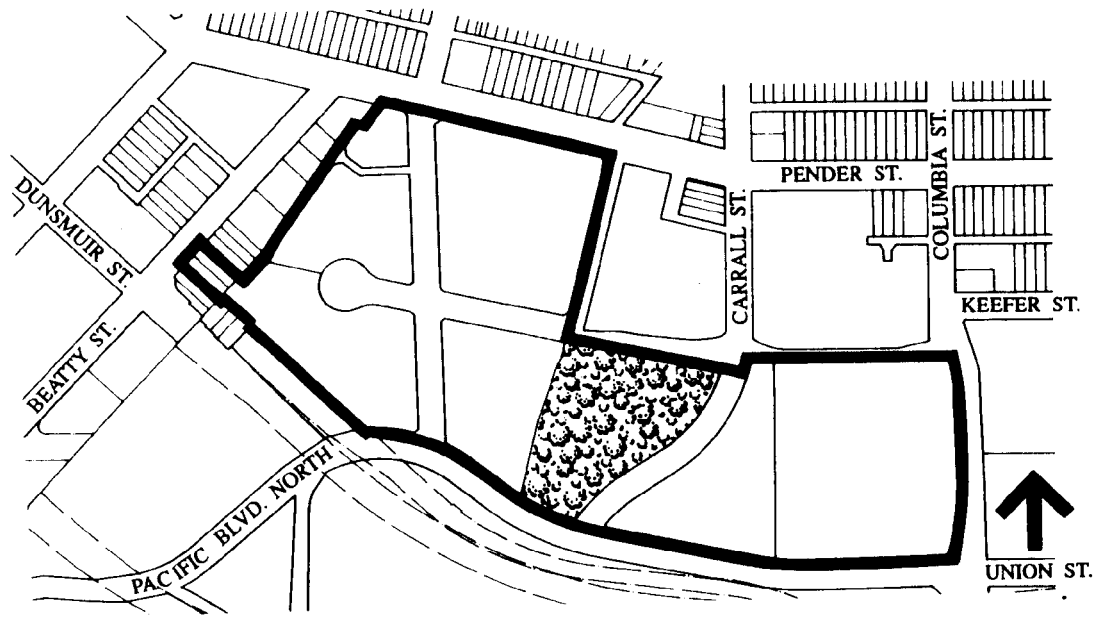


- 7.1 The community school should have pedestrian entrances oriented to both Pacific Boulevard and the park. These entrances should be significant elements which are strongly expressed.
- 7.2 The Pacific Boulevard elevation should express regular frame elements, generally similar to the character of Abbott Street.
- 7.3 The daycare should be visually integrated with the school. The design should complement its residential setting and include such elements as pitched roofs and dormers.
- 7.4 The common semi-private courtyard should be planned and landscaped to be useful to the anticipated population.
- 7.5 A mid-block common access from the courtyard for the residential buildings should be provided to the park.
- 7.6 Any parking which projects above grade should be covered by a landscaped podium.

8 Park Guidelines

8.1 West Park

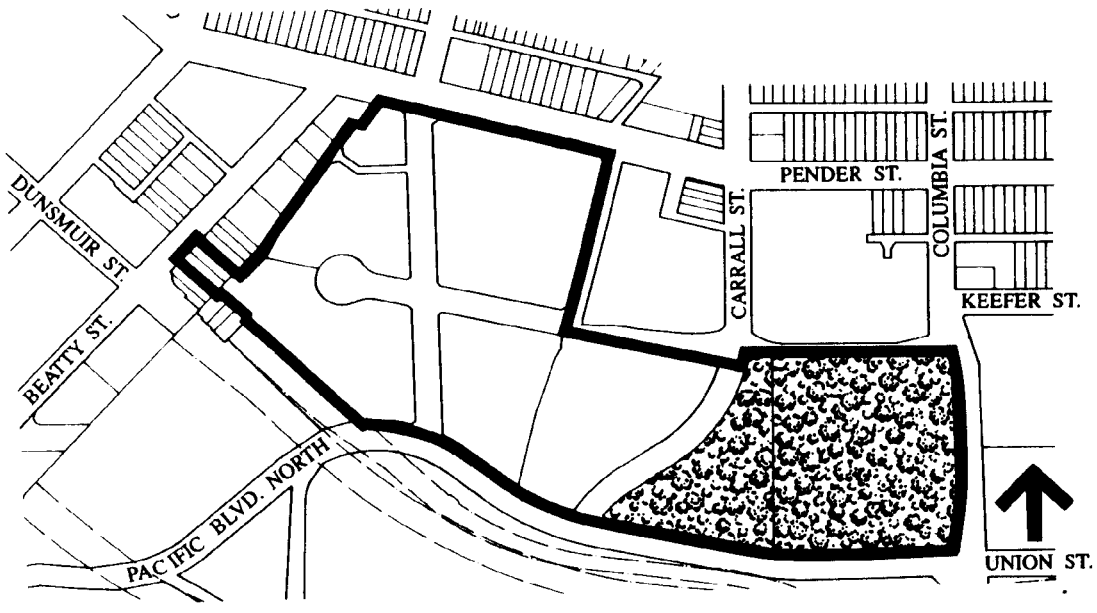
Figure 16.



- 8.1.1 The role of this park should be to provide play space for young children and passive recreational areas for adults.
- 8.1.2 The layout of this park should be urban with strong edge containment and reflect the formal elements of neighbourhood architecture.
- 8.1.3 The West and East portions of the park are to be linked by a landscaped pedestrian bridge over Carrall Street.

8.2 East Park

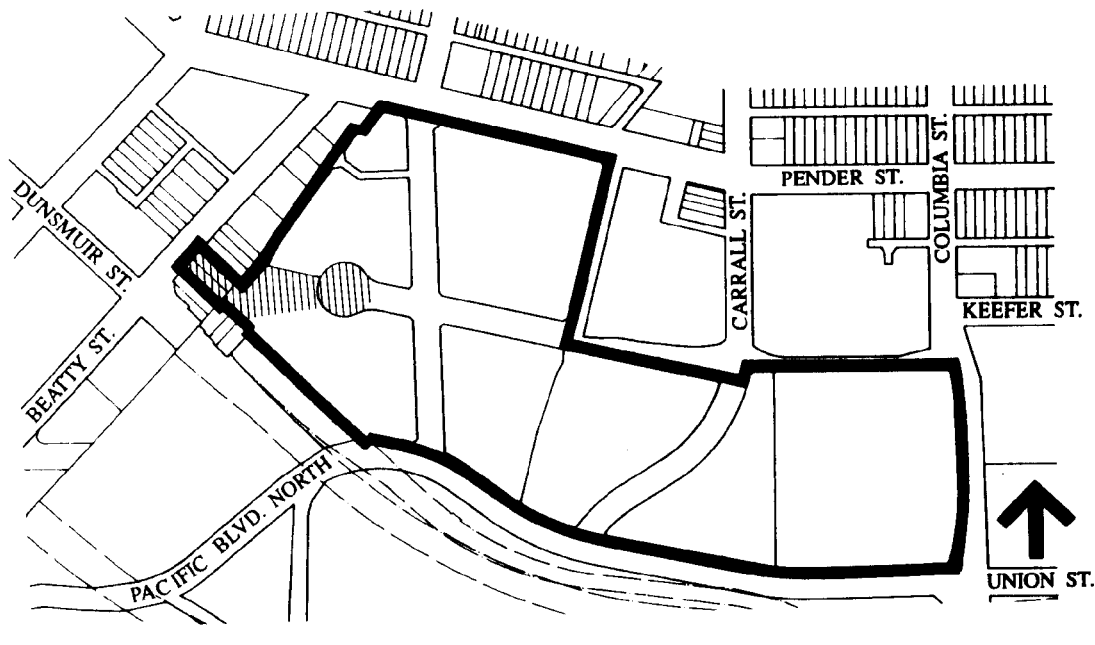
Figure 17.



- 8.2.1 The role of this park should be to provide for active play needs of all age groups. Recreation would be of a more structured nature than in the west park and elements such as playing fields and tennis courts would be included.
- 8.2.2 The playing field edges should be designed to accommodate multiple functions such as jogging, watching, and sitting.
- 8.2.3 The Keefer Street edge of this park should complement the Dr. Sun Yet Sen Gardens with materials, plantings, and layout.

9 Keefer Steps and Circle

Figure 18.

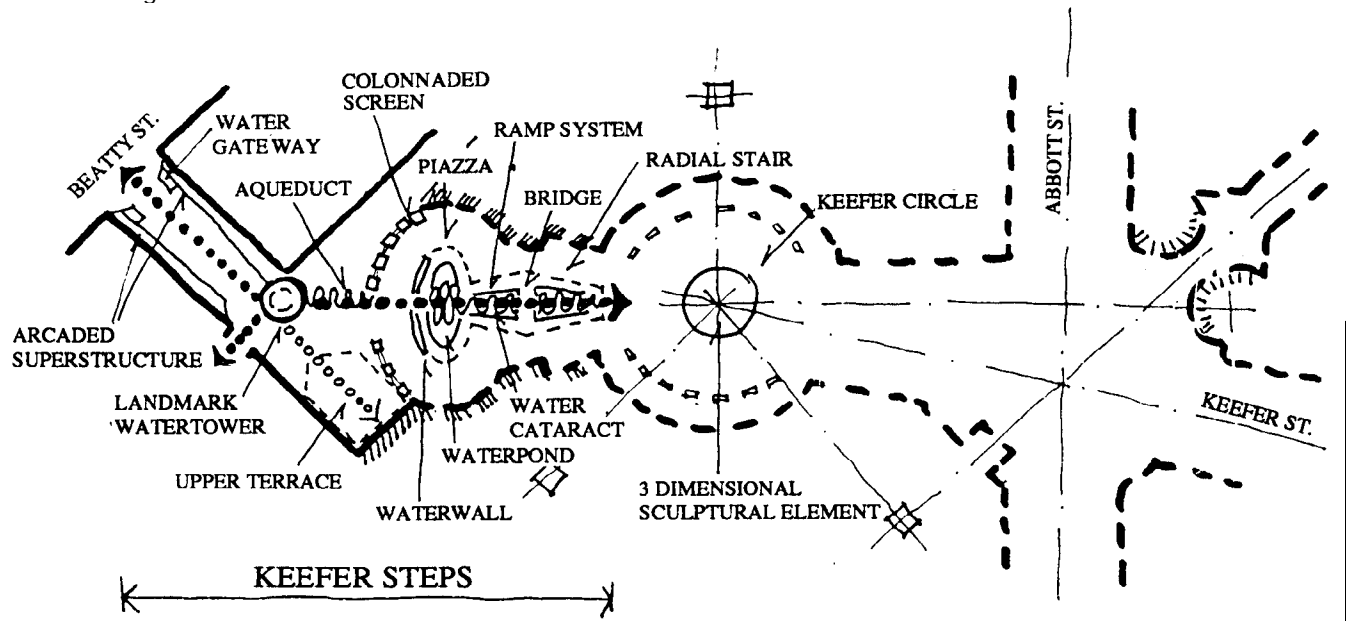


9.1 Steps

The design of the Keefer Steps is to be specified in a legal agreement. The following guidelines set out the general parameters of the design.

The steps shall consist of a series of terraces linked by steps and ramps featuring the use of water as a unifying element. They shall have an overall shape and geometry as illustrated below, and be designed as follows:

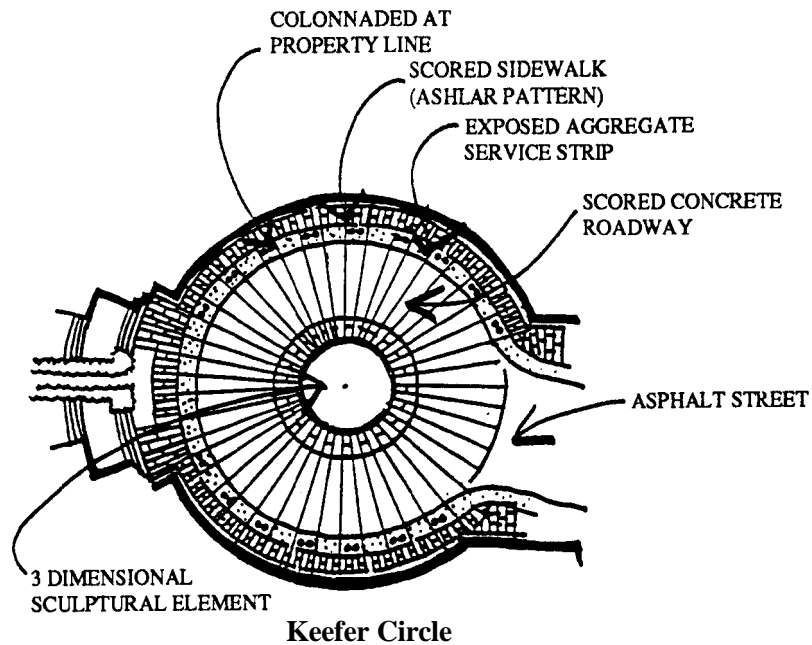
Figure 19.



- (a) the lower section should consist of radial stairs and a ramp system flanked on both sides by a flowing water cataract which terminates at the base of the stairs. The adjacent buildings, while set back, should echo the shape of the stair pattern.
- (b) the piazza level should be enclosed by a colonnade which reinforces Keefe Circle. The oval piazza should focus on a central element which reflects the shape of the space and is comprised of a water wall and pond surrounded by an integrated ramp system; where possible this element should be enhanced with landscaping. Landscaping should also provide complete visual screening of the lane below; stairs which connect to the lane should be oriented along the edge of the piazza to eliminate all views of the lane. The covered space below the second terrace level should be restaurant use, providing it is visually interesting and functionally integrated. There should be a connection at this level to the buildings which define Keefe Circle.
- (c) the section above the piazza level should consist of stairs and should include an aqueduct on the north edge of the stairs to eliminate overviews of the lane from the stairs and the upper terrace area; an elevator and, preferably covered, walkway should also be included to provide handicapped access from the piazza level to the ALRT station. The elevator structure, covered walkway and abutting hotel facade wall facing Beatty Street should be designed, in terms of forms, materials and finishing, in an integrated fashion to reflect their prominent position regarding axial views from Beatty Street and their relationship to other design elements in the sequence through buildings from Beatty Street.
- (d) the second terrace level should provide entry to the ALRT station; and along its northern edge provide a landmark element incorporating water features which is prominently visible and terminates the axial view from Keefe Circle and is visible from the Beatty Street entrance to the space; this element should be generally circular in plan and turn the corner linking into the upper stair section. Residual space at this level should be used for outdoor restaurant seating providing it is functionally integrated and visually interesting.
- (e) terraced stairs and peripheral ramps should link the ALRT station level to Beatty Street; to screen the adjacent building walls and to define the entrance an arcaded superstructure should be provided which may be completed in a roof-like pergola element which defines the space and creates a sense of progression. The scale layout and composition of these elements should preserve or enhance the axial view from Beatty Street to the hotel facade. Where opportunities permit, openings to provide future links to the adjacent building should be accommodated. A water gateway featuring the texture of flowing water, should be located at the Beatty Street entrance to the stairs.
- (f) opportunities for public art should be considered throughout the steps area and as a minimum should be provided at the Beatty Street entry, the ALRT station entry level and as part of the water feature at the piazza level.
- (g) materials and details should be of high quality and durable to reinforce the importance of this public space. A complementary interface should be developed between the private and public realms.

9.2 Circle

Figure 20.



- 9.2.1 A double-storey colonnade should be set at the property line, with regularly spaced columns with a continuous frieze over and skylit arcade behind. Materials and construction details should be high quality and available to reinforce the importance of this public space.
- 9.2.2 The urban design of the Keefer Circle within the dedicated street and adjacent private properties should be carefully coordinated. A Servicing Agreement will be entered into which establishes the design of the street as discussed in Section 2.14.1.
- 9.2.3 The centre of the circle should feature a three dimensional sculptural element having a design and scale complementary to and enhancing the formal nature of the circle and steps. This element should be an integral part of the series of design and art elements in the sequence from Beatty Street to Keefer Street.